

ADDENDUM NUMBER 1

PARTICULARS

- 1.01 DATE: MARCH 19, 2020**
- 1.02 PROJECT: MARATHON COUNTY – CHADWICK GROUP HOME ADDITION AND ALTERATIONS**
- 1.03 PROJECT NUMBER: 19.026**
- 1.04 OWNER: MARATHON COUNTY**
- 1.05 ARCHITECT: FUNKTION DESIGN STUDIO, LLC**

TO: PROSPECTIVE BIDDERS :

- 2.01 THIS ADDENDUM FORMS A PART OF THE CONTRACT DOCUMENTS AND MODIFIES THE ORIGINAL PROCUREMENT DOCUMENTS DATED MARCH 9, 2020, WITH AMENDMENTS AND ADDITIONS NOTED BELOW.**
- 2.02 ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM . FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.**
- 2.03 THIS ADDENDUM CONSISTS OF 2 PAGES AND THE FOLLOWING DOCUMENTS:**
 - A. MANDATORY PREBID WALKTHROUGH CONTRACTOR SIGN IN SHEET**
 - B. FUNKTION DESIGN STUDIO PRE-BID CONFERENCE AGENDA HAND OUT**
 - C. SUPPLEMENTAL SHEET AD1-1 SITE GRADING PLAN**

CHANGES TO THE PROJECT MANUAL

- 3.01 SECTION 00 11 16 – INVITATION FOR BIDS**
 - A. HAND DELIVERED BIDS WILL BE ACCEPTED AT THE MARATHON COUNTY FACILITIES AND CAPITAL MANAGEMENT DEPARTMENT AT 1000 LAKEVIEW DRIVE, SUITE 300 WAUSAU, WI 54403 NO LATER THAN 2PM, MARCH 26, 2020. THE COUNTY WILL PROVIDE A CABINET OUT IN THE VESTIBULE FOR PUTTING THE BIDS IN. THE COUNTY PROJECT MANAGER WILL PUBLICLY READ THE BIDS OUTSIDE OF THE BUILDING AT 2:00 PM.**

CHANGES TO THE DRAWINGS:

- 4.01 SHEET D101: FIRST FLOOR DEMOLITION PLAN**

- A. OMIT DEMOLITION NOTE 12 AT DOOR 116. ADD NEW DEMOLITION NOTE 18 TO READ: SITE CLEAR DOOR PANEL AND FRAME, SALVAGE EXISTING TRIM AND LOCKSET TO BE REINSTALLED IN THE NEW DOOR AT PANTRY ROOM 104A.

4.02 SHEET A102: FIRST FLOOR NEW WORK PLAN AND SCHEDULES

- A. OMIT REFERENCE NOTE 11 AT DOOR 116. REVISE THE DOOR SWING TO LEFT HAND OUTSWING. DOOR 116 WILL BE A NEW DOOR, 3'-0x6'-8" MATCH EXISTING MATERIAL AND STAIN COLOR. NEW HARDWARE HINGES INSTALL SALVAGED KICK PLATES AND LOCKSET.
- B. ADD NEW PLAN NOTE 20 TO CLOSET 128 AND 127 TO READ: PROVIDE NEW DOOR AND OPENING TRIM TO MATCH THE EXISTING TRIM MATERIAL, STYLE AND FINISH.
- C. DOOR SCHEDULE, REVISE DOOR 006 TO A NEW INSULATED PREHUNG STEEL DOOR, PRIMED WOOD FRAME, PAINT DOOR AND HARDWARE SET 3.

4.03 SHEET A220: BUILDING SECTIONS AND DETAILS

- A. DETAIL 3/A220 SILL PLATE CONNECTION TO FLOOR SHEATHING

In-Plane Shear: Wall Bottom Plate to Floor Sheathing:

♦ **Fastening:** 0.131 x 3" Gun Nails into SPF Bottom Plate to 23/32" Floor Sheathing
 Per NDS Table 11Q, SPF Bottom Plate to 23/32" Fir Shtg 82 lbs.

Allowable Lateral Load: (82 lbs.) (1.6 % Increase for Wind) (2 nail(s)) 262 plf

OK

END OF ADDENDUM NUMBER 1

Marathon Co - Chadwick Group Home
March 16, 2020 @ 9:00 am

<u>Name</u>	<u>company</u>	<u>email</u>
Steve Lee	J+J Lee Const	SS. Lee. Co. @ all. com
John Lee		
DUANE MEYER	MEYER LUMBER	DUANE. MEYER 1951 @
TUCKER DIETHELM	SI) ELLENBECKER	GMAIL TDIETHELM@SIELLENBECKER.COM

Pre-Bid Conference

Marathon County – Chadwick Group Home – Addition and Alterations

~~Location: Marathon County Social Services Building, 400 E Thomas St, Wausau, WI 54401~~
Monday, March 16, 2020 at 9:00 am

1. INTRODUCTIONS

-) Craig Christians, Facility Planner, Marathon County
-) Melody Hamlin – Project Manager, Funktion Design Studio, LLC

2. PROJECT

) DESCRIPTION OF WORK

The Base Bid of the project will consist of a 300 s.f. bedroom addition with basement and interior alterations of the main floor pantry area and existing adjacent bedroom at the Marathon County Chadwick Group Home.

The work will include demolition, excavation, general construction, heating, ventilating, plumbing, fire protection and electrical work.

3. BASE BID

Single lump sum shall include all components necessary for the complete performance of the work as specified. The work includes all labor, materials, equipment and materials management, according to the project documents.

4. ALTERNATES

-) Alternate No. 1 – Fire protection retrofit installation to protect the first floor utilizing the wet system. Fire suppression contractor responsible to disconnect and remove all existing antifreeze system components from basement to 6 inches above the first floor ceilings. General contractor to add all required soffits and vertical chases, patch all existing adjacent wall construction and finishes. See sheet FP102 and related notes on sheet A101 and A102
-) Alternate No. 2 – Site Clear the existing antifreeze system components in the attic. General contractor to seal/ patch all ceiling penetrations from the existing sprinkler locations. Match all adjacent wall construction and finishes.

5. PROJECT BIDDING INFORMATION

-) Examination of the site is required.
-) Bids shall not be withdrawn for a period of 90 days after the bid opening.
-) A Bid Bond in the amount of 10% of Bid Sum is required in the form of a Bid Bond or certified check.
-) The accepted bidder is required to provide a Performance Bond and Labor and Material Payment Bond.
 -) Performance Bond shall be equal to 100% of full amount of contract sum
 -) Labor and Material Bond shall be equal to 100% of full amount of contract sum
-) Question Submittal via email only to melody@funktiondesignstudio.com
-) The Project Manager will receive the question, answer it or route the inquiry to the appropriate person.

- J If a question is submitted by email - a response will also be transmitted via the email and when necessary included in the next addendum.
- J Requests for determination of equal products must be received by Owner in writing not less than 4 days before date set for receipt of Bids. The written reply, if any, will be in the form of an Addendum issued to all appropriate Bidders.
- J Posting of the Addendums on www.marathon.wi. the day of issuance.
- J Addendums will be emailed to all contractors that signed into the mandatory walkthrough
- J General Contractors are responsible to get addendums to their subs.
- J Bids due: March 26, 2020 @ 2:00 pm at the Marathon County Facilities and Capital Management Department at 1000 Lakeview Drive, Suite 300 Wausau, WI 54403, "Door 27"

6. PROOF OF RESPONSIBILITY

- J Potential bidders shall submit a Bidders Proof of Responsibility with their bid form documentation. The county reserves the right to reject the bid by a Contractor when answers in the Proof of Responsibility and financial statement are not satisfactorily sufficient.

7. USE OF PREMISES

- J Contractor staging area to be the north side of the parking area, keep dumpsters clear.
- J Contractor entrance will be shared through the garage with the staff and residents.
- J General Contractor shall have use of premises for construction operations as indicated in the Project Manual section 01 10 10 General Requirements and within the contract limits shown on the drawings.
- J Free of charge: water, power, on site storage and sanitary facilities in lower level.
- J Driveways and Entrances: Keep driveways and entrances serving nearby premises clear and available to Owners and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
- J Keep emergency exits open at all times.
- J Schedule deliveries to minimize use of driveways and entrances.
- J Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.

8. PROJECT SCHEDULE

- J Start Construction – Upon acceptance of DHS approval
- J Due to daily usage of the project area throughout the duration of the project, performance of the work under this Contract must be done in accordance of the defined project schedule.
- J Tentative Substantial completion date is determined by the end of August 2020.
- J Awarded General Contractor to submit Project Schedule at preconstruction meeting
- J Work Hours 8:00am – 4:30pm M-F

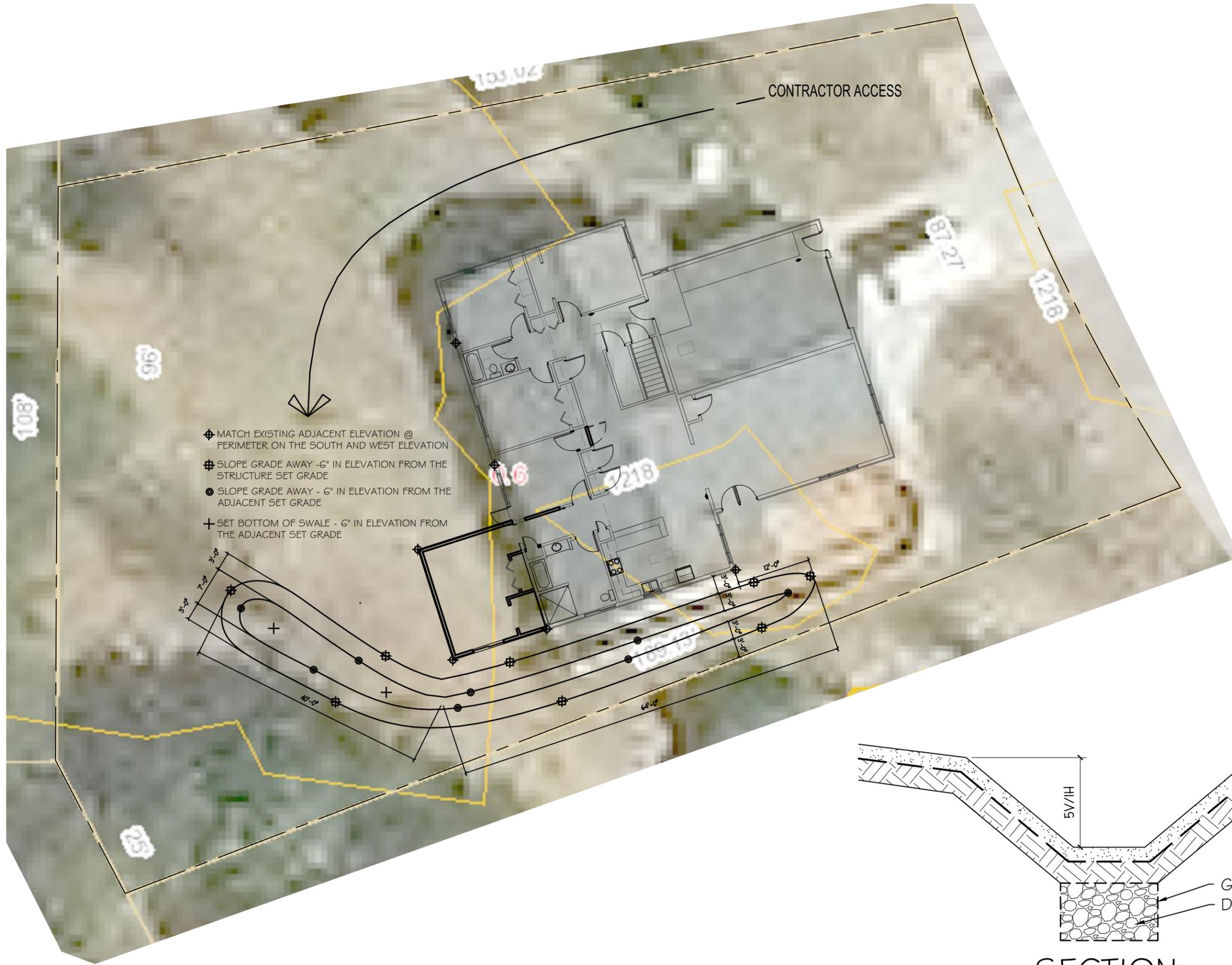
9. SITE EXAMINATION

- J Additional visits must be scheduled with Craig Christians, Craig.Christians@co.marathon.wi.us
- J The Contractor will not be allowed extra compensation for work required by existing conditions for which through careful examination of the site the Contractor could have become informed prior to submitting a Bid.

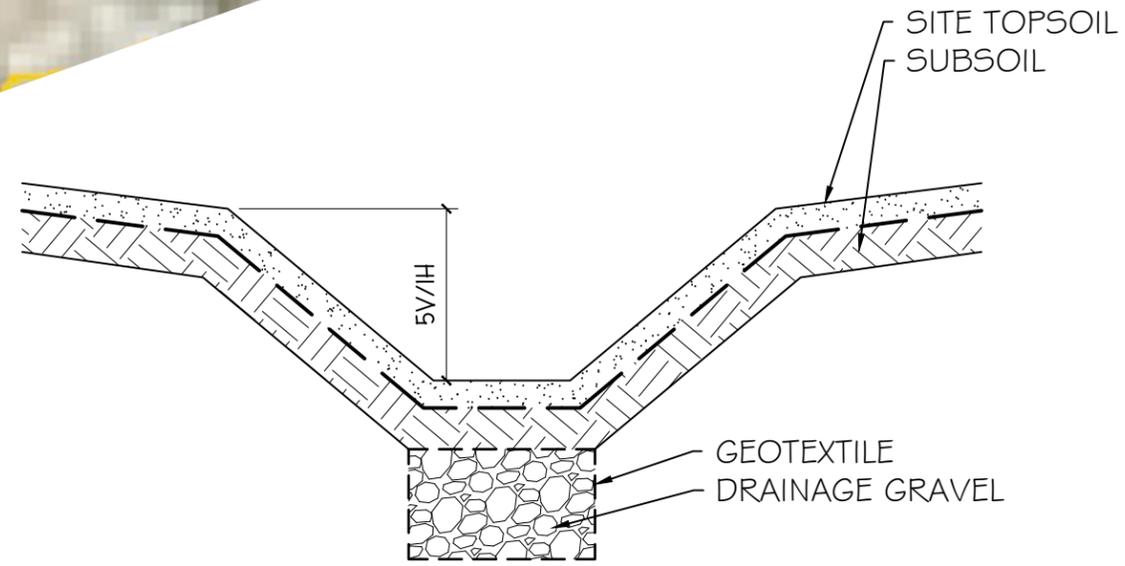
10. TOUR

- J Review the existing building work area locations

QUESTIONS?



- ◆ MATCH EXISTING ADJACENT ELEVATION @ PERIMETER ON THE SOUTH AND WEST ELEVATION
- ⊕ SLOPE GRADE AWAY -6" IN ELEVATION FROM THE STRUCTURE SET GRADE
- SLOPE GRADE AWAY - 6" IN ELEVATION FROM THE ADJACENT SET GRADE
- + SET BOTTOM OF SWALE - 6" IN ELEVATION FROM THE ADJACENT SET GRADE



SECTION