

# FACILITY CONDITION ASSESSMENT

*Prepared for*

Marathon County  
500 Forest Street  
Wausau, Wisconsin 54403



FACILITY CONDITION ASSESSMENT  
OF  
MARATHON/LAKE VIEW PROFESSIONAL PLAZA  
1200 LAKE VIEW DRIVE  
WAUSAU, WISCONSIN 54403

## PREPARED BY:

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## EMG PROJECT #:

125533.17R000-013.322

## DATE OF REPORT:

June 5, 2017

## ONSITE DATE:

May 15, 2017



**DUDE SOLUTIONS**  
PARENT COMPANY OF SchoolDude | FacilityDude | TheWorxHub

**Immediate Repairs Report**  
**Lake View Professional Plaza\*\***  
**6/5/2017**



Location Name	EMG Renamed Item Number	ID	Cost Description	Quantity	Unit	Unit Cost	Subtotal	Deficiency Repair Estimate *
Lake View Professional Plaza**	3.1	598121	ADA, Restroom, Lavatory Pipe Wraps, Install	12	EA	\$75.90	\$911	<b>\$911</b>
Lake View Professional Plaza**	5.1	599464	Sanitary Sewer Piping and Manholes, Replace	100	LF	\$100.00	\$10,000	<b>\$10,000</b>
Lake View Professional Plaza**	6.3	598239	Attic Insulation, Blanket Type, Full R-38 Value, ~ 12" Thick, Install	13000	SF	\$3.08	\$40,040	<b>\$40,040</b>
Lake View Professional Plaza**	6.5	598864	Exterior Stairs, Concrete, Repair	200	SF	\$3.88	\$775	<b>\$775</b>
Lake View Professional Plaza**	8.1	597117	Interior Wall Finish, Gypsum Board/Plaster, Repair	1000	SF	\$3.18	\$3,181	<b>\$3,181</b>
<b>Immediate Repairs Total</b>								<b>\$54,907</b>

\* Location Factor included in totals.





Location Name	EMG Renamed Item Number	ID	Cost Description	Lifespan (EUL)	Age	RUL	Quantity	Unit	Unit Cost	Subtotal	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	Deficiency Repair Estimate
Lake View Professional Plaza**	8.2	598704	Commercial Laundry, Dryer, 101 to 200 LB, Replace	15	6	9	1	EA	\$7,150.00	\$7,150										\$7,150											\$7,150
Lake View Professional Plaza**	8.2	598703	Commercial Laundry, Dryer, 101 to 200 LB, Replace	15	6	9	1	EA	\$7,150.00	\$7,150										\$7,150											\$7,150
Lake View Professional Plaza**	8.2	598681	Commercial Laundry, Washer, 81 to 120 LB, Replace	10	1	9	1	EA	\$15,220.00	\$15,220										\$15,220									\$15,220	\$30,440	
Lake View Professional Plaza**	8.2	598707	Commercial Laundry, Dryer, 101 to 200 LB, Replace	15	6	9	1	EA	\$7,150.00	\$7,150										\$7,150											\$7,150
Lake View Professional Plaza**	8.2	598708	Commercial Kitchen, Icemaker, Tabletop, Replace	10	6	4	1	EA	\$2,196.00	\$2,196					\$2,196										\$2,196						\$4,392
<b>Totals, Unescalated</b>											\$54,907	\$908,017	\$564,498	\$111,953	\$669,981	\$311,017	\$555,920	\$71,536	\$7,740	\$156,929	\$158,480	\$15,220	\$74,732	\$195,917	\$21,558	\$33,776	\$199,141	\$344,031	\$4,323	\$47,775	\$4,507,449
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$54,907	\$935,257	\$598,876	\$122,335	\$754,070	\$360,553	\$663,797	\$87,980	\$9,805	\$204,757	\$212,984	\$21,068	\$106,550	\$287,711	\$32,608	\$52,621	\$319,563	\$568,631	\$7,359	\$83,773	\$5,485,205

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## 1. EXECUTIVE SUMMARY

### 1.1. PROPERTY INFORMATION AND GENERAL PHYSICAL CONDITION

The property information is summarized in the table below. More detailed descriptions may be found in the various sections of the report and in the Appendices.

PROPERTY INFORMATION	
Address:	1200 Lake View Drive, Wausau, Marathon County, Wisconsin 54403
Year Constructed/Renovated:	1932 (Main building) 1983 (Laundry building) 1986, 1990 (Renovations)
Current Occupants:	Medical professionals
Percent Utilization:	100%
Management Point of Contact:	Troy Torgerson, Facilities and Capital Management Facility Planner 715.261.6989 (office phone) 715.581.0198 (cell) <a href="mailto:troy.torgerson@co.marathon.wi.us">troy.torgerson@co.marathon.wi.us</a> email
Property Type:	Office
Site Area:	5.83 acres
Building Area:	46,320 SF
Number of Buildings:	2 (PWP says 1 – 2 is correct: main and laundry buildings)
Number of Stories:	3
Parking Type and Number of Spaces:	232 spaces in open lots
Building Construction:	Masonry bearing walls and wood-framed roofs.
Roof Construction:	Hip metal roof Flat roofs with rubber membrane with stone ballast.
Exterior Finishes:	Brick Veneer
Heating, Ventilation & Air Conditioning:	Central system with air handlers and VAV terminal units Supplemental components: ductless split-systems and suspended gas unit heaters
Fire and Life/Safety:	Fire sprinklers, hydrants, smoke detectors, alarms, strobes, extinguishers, pull stations, alarm panel, exit signs, and emergent lights
Dates of Visit:	May 15, 2017
On-Site Point of Contact (POC):	Steve Belanger 715-581-1369 phone
Assessment and Report Prepared by:	Henry Guo

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PROPERTY INFORMATION	
Reviewed by:	Michelle M. Kania Technical Report Reviewer for Bill Champion Program Manager <a href="mailto:bchampion@emgcorp.com">bchampion@emgcorp.com</a> 800.733.0660 x6234

SYSTEMIC CONDITION SUMMARY			
Site	Fair	HVAC	Fair
Structure	Good	Plumbing	Good
Roof	Fair	Electrical	Good
Vertical Envelope	Fair	Elevators	Poor
Interiors	Fair	Fire	Fair

The following bullet points highlight the most significant short term and modernization recommendations:

- Mill and overlay of asphalt parking lots
- Upgrade Building Automation System (HVAC controls)
- Renovation of elevators
- Replacement of variable air volume unit
- Replacement of gas furnace

Generally, the property appears to have been constructed within industry standards in force at the time of construction. The property appears to have been well maintained in recent years and is in overall fair condition.

According to property management personnel, the property has had a limited capital improvement expenditure program over the past three years, primarily consisting of new laundry building roof and new washing machines. Supporting documentation was not provided in support of these claims but some of the work is evident.

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## 1.2. FACILITY CONDITION INDEX (FCI)

### FCI Analysis: Lake View Professional Plaza\*\*

Replacement Value: \$ 10,051,897; Inflation rate: 3.0%

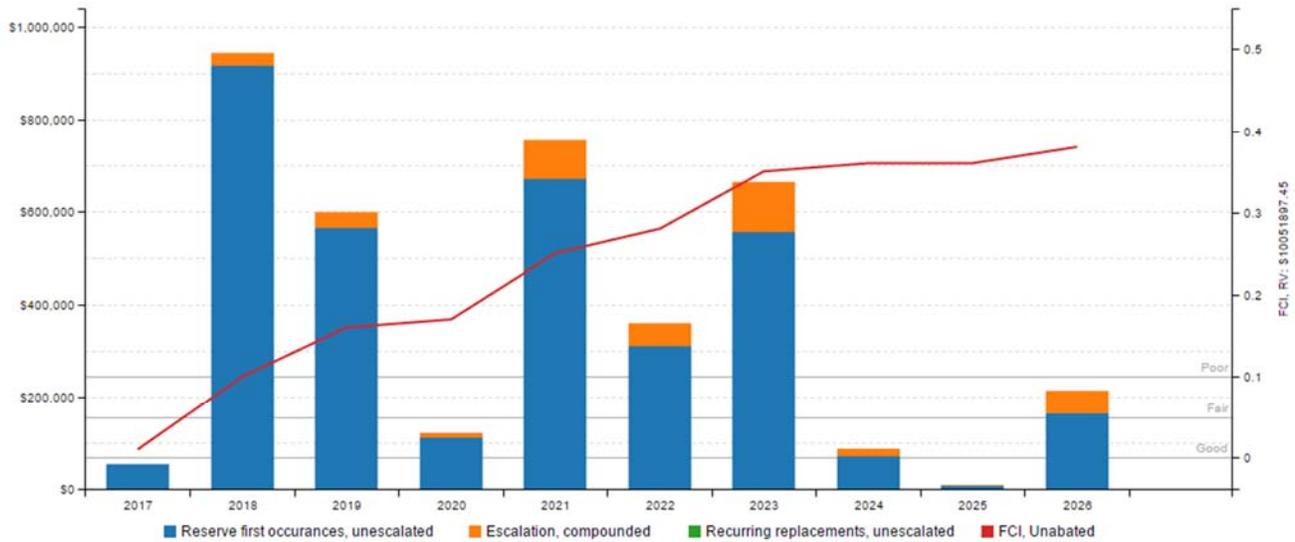


Chart Options

5 Years  10 Years 20 Years  Deferred

Replacement Value (\$)

10051897.45

Inflation Rate (%)

3

Y-axis max

0.5

[Print](#)

One of the major goals of the FCA is to calculate the FCI, which gives an indication of a building's overall condition. Two FCI ratios are calculated and presented, the Current Year and Ten-Year. The Current Year FCI is the ratio of Immediate Repair Costs to the building's Current Replacement Value. Similarly, the Ten-Year FCI is the ratio of anticipated Capital Reserve Needs over the next ten years to the Current Replacement Value.

FCI CONDITION RATING	DEFINITION	PERCENTAGE VALUE
Good	In new or well-maintained condition, with no visual evidence of wear, soiling or other deficiencies.	0% to 5%
Fair	Subjected to wear and soiling but is still in a serviceable and functioning condition.	> than 5% to 10%
Poor	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.	> than 10% to 60%
Very Poor	Has reached the end of its useful or serviceable life. Renewal is now necessary.	> than 60%

The graph above and table below represent summary-level findings for the FCA. The deficiencies identified in this assessment can be combined with potential new construction requirements to develop an overall strategy that can serve as the basis for a portfolio-wide capital improvement funding strategy. Key findings from the assessment include:

KEY FINDING	METRIC
Current Year Facility Condition Index (FCI) FCI = (IR)/(CRV)	0.5% Good

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KEY FINDING		METRIC	
10-Year Facility Condition Index (FCI)	FCI = (RR)/(CRV)	39.8%	Poor
<b>Current Replacement Value (CRV)</b>		46,320 SF * \$217.01 / SF = \$10,051,897	
Year 0 (Current Year) - Immediate Repairs (IR)		\$54,907	
Years 1-10 – Replacement Reserves (RR)		\$3,950,414	
<b>Total Capital Needs</b>		<b>\$4,005,321</b>	

The major issues contributing to the Immediate Repair Costs and the Current Year FCI ratio are summarized below:

- Repair moisture damaged interior plaster walls
- Missing ADA insulation on restroom sink drain pipes
- Installation of attic batt insulation
- Repair broken treads at site concrete stair
- Repair of collapsed underground sewer pipes

Further detail on the specific costs that make up the Immediate Repair Costs can be found in the cost tables at the beginning of this report.

## 1.3. SPECIAL ISSUES AND FOLLOW-UP RECOMMENDATIONS

As part of the FCA, a limited assessment of accessible areas of the building(s) was performed to determine the presence of fungal growth, conditions conducive to fungal growth, and/or evidence of moisture. Property personnel were interviewed concerning any known or suspected fungal growth, elevated relative humidity, water intrusion, or mildew-like odors. Sampling is not a part of this assessment.

There are no visual indications of the presence of fungal growth, conditions conducive to fungal growth, or evidence of moisture in representative readily accessible areas of the property.

No follow up studies are recommended.

## 1.4. OPINIONS OF PROBABLE COST

Cost estimates are attached at the front of this report (following the cover page).

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means* and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, and whether competitive pricing is solicited, etc. ASTM E2018-08 recognizes that certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

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### 1.4.1. METHODOLOGY

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age. Projections of Remaining Useful Life (RUL) are based on continued use of the Property similar to the reported past use. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be derived from an actual take-off, lump sum costs or allowances are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

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### 1.4.2. IMMEDIATE REPAIRS

Immediate repairs are opinions of probable costs that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) material building or fire code violations, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

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### 1.4.3. REPLACEMENT RESERVES

Replacement Reserves are for recurring probable expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined in the Immediate Repair Cost Estimate.

## 2. PURPOSE AND SCOPE

### 2.1. PURPOSE

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and possible material code violations of record at municipal offices, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

#### CONDITIONS:

The physical condition of building systems and related components are typically defined as being in one of five conditions: Excellent, Good, Fair, Poor, Failed or a combination thereof. For the purposes of this report, the following definitions are used:

Excellent	=	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	=	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	=	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	=	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	=	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	=	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

#### FORMAT OF THE BODY OF THE REPORT:

Throughout sections 5 through 9 of this report, each report section will typically contain three subsections organized in the following sequence:

- A descriptive table (and/or narrative), which identifies the components assessed, their condition, and other key data points.
- A simple bulleted list of Anticipated Lifecycle Replacements, which lists components and assets typically in Excellent, Good, or Fair condition at the time of the assessment but that will require replacement or some other attention once aged past their estimated useful life. These listed components are typically included in the associated inventory database with costs identified and budgeted beyond the first several years.
- A bulleted cluster of Actions/Comments, which include more detailed narratives describing deficiencies, recommended repairs, and short term replacements. The assets and components associated with these bullets are/were typically problematic and in Poor or Failed condition at the time of the assessment, with corresponding costs included within the first few years.

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## PLAN TYPES:

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance. The following Plan Types are listed in general weighted order of importance:

Safety	=	An observed or reported unsafe condition that if left unaddressed could result in an injury; a system or component that presents a potential liability risk.
Performance/Integrity	=	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses a risk to overall system stability.
Accessibility	=	Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
Environmental	=	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Modernization/Adaptation	=	Conditions, systems, or spaces that need to be upgraded in appearance or function to meet current standards, facility usage, or client/occupant needs.
Lifecycle/Renewal	=	Any component or system in which future repair or replacement is anticipated beyond the next several years and/or is of minimal substantial early-term consequence.

## 2.2. SCOPE

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a general statement of the subject Property’s compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Perform a limited assessment of accessible areas of the building(s) for the presence of fungal growth, conditions conducive to fungal growth, and/or evidence of moisture. EMG will also interview Project personnel regarding the presence of any known or suspected fungal growth, elevated relative humidity, water intrusion, or mildew-like odors. Potentially affected areas will be photographed. Sampling will not be considered in routine assessments.
- List the current utility service providers.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, in order to gain a clear understanding of the property’s overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report.
- Prepare a mechanical equipment inventory list.

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### 2.3. PERSONNEL INTERVIEWED

The management and maintenance staff, building engineers, and some key contractors were interviewed for specific information relating to the physical property, available maintenance procedures, historical performance of key building systems and components, available drawings and other documentation. The following personnel from the facility and government agencies were interviewed in the process of conducting the FCA:

NAME AND TITLE	ORGANIZATION	PHONE NUMBER
Troy Torgerson Facilities and Capital Management Facility Planner	Marathon County	715.581.0198
Steve Belanger HVAC Tech Facility Manager	Marathon County	715.581.1369
Terry Kaiser Assistant Facility Director	Marathon County	715.581.0802

The FCA was performed with the assistance of Steve Belanger, HVAC Tech Facility Manager, Marathon County, the onsite Point of Contact (POC), who was cooperative and provided information that appeared to be accurate based upon subsequent site observations. The onsite contact is completely knowledgeable about the subject property and answered most questions posed during the interview process. The POC's management involvement at the property has been for the past twenty-one years.

### 2.4. DOCUMENTATION REVIEWED

Prior to the FCA, relevant documentation was requested that could aid in the knowledge of the subject property's physical improvements, extent and type of use, and/or assist in identifying material discrepancies between reported information and observed conditions. The review of submitted documents does not include comment on the accuracy of such documents or their preparation, methodology, or protocol. The Documentation Request Form is provided in Appendix E.

Although Appendix E provides a summary of the documents requested or obtained, the following list provides more specific details about some of the documents that were reviewed or obtained during the site visit.

- Remodeling construction documents prepared by Tilleman Associates, Inc. Architects, dated September, 1989.

### 2.5. PRE-SURVEY QUESTIONNAIRE

A Pre-Survey Questionnaire was sent to the POC prior to the site visit. The questionnaire is included in Appendix E. Information obtained from the questionnaire has been used in preparation of this report.

### 2.6. WEATHER CONDITIONS

May 15, 2017: Clear, with temperatures in the 60s (°F) and light winds.

## 3. ACCESSIBILITY & PROPERTY RESEARCH

### 3.1. ADA ACCESSIBILITY

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “commercial facilities” on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to the deficiency must be made.

During the FCA, a limited visual observation for ADA accessibility compliance was conducted. The scope of the visual observation was limited to those areas set forth in *EMG's Abbreviated Accessibility Checklist* provided in Appendix D of this report. It is understood by the Client that the limited observations described herein does not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG's undertaking. Only a representative sample of areas was observed and, other than as shown on the Abbreviated Accessibility Checklist, actual measurements were not taken to verify compliance.

The facility does not appear to be accessible with Title III of the Americans with Disabilities Act. Elements as defined by the ADAAG that are not accessible as stated within the priorities of Title III, are as follows:

#### **Restrooms**

- Wrap drain pipes below lavatory with insulation; protect against contact with hot, sharp, or abrasive surfaces.

A full ADA Compliance Survey may reveal additional aspects of the property that are not in compliance.

Corrections of these conditions should be addressed from a liability standpoint, but are not necessarily code violations. The Americans with Disabilities Act Accessibility Guidelines concern civil rights issues as they pertain to the disabled and are not a construction code, although many local jurisdictions have adopted the Guidelines as such. The cost to address the achievable items noted above is included in the cost tables.

### 3.2. MUNICIPAL INFORMATION, FLOOD ZONE AND SEISMIC ZONE

Municipal information, flood zone and seismic zone information are not required.

## 4. EXISTING BUILDING ASSESSMENT

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### 4.1. UNIT OR SPACE TYPES

All 46,320 square feet of the building are occupied by medical professionals working for North Central Healthcare. The spaces are offices and supporting restrooms, a laundry room, mechanical and other utility spaces.

### 4.2. INACCESSIBLE AREAS OR KEY SPACES NOT OBSERVED

All interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, exterior of the property and the roof. All areas of the property were available for observation during the site visit.

## 5. SITE IMPROVEMENTS

### 5.1. UTILITIES

The following table identifies the utility suppliers and the condition and adequacy of the services.

SITE UTILITIES		
UTILITY	SUPPLIER	CONDITION AND ADEQUACY
Sanitary sewer	Wausau Water Work	Good
Storm sewer	City of Wausau	Good
Domestic water	Wausau Water Work	Good
Electric service	Wisconsin Public Service	Good
Natural gas service	Wisconsin Public Service	Good

**Actions/Comments:**

- According to the POC, the utilities provided are adequate for the property. There are no unique, onsite utility systems such as emergency electrical generators, septic systems, water or waste water treatment plants, or propane gas tanks.
- According to the POC, portions of the underground sewage line have collapsed, and require replacement.

### 5.2. PARKING, PAVING, AND SIDEWALKS

ITEM	DESCRIPTION
Main Ingress and Egress	Lake View Drive
Access from	East
Additional Entrances	Lake View Drive
Additional Access from	East

PAVING AND FLATWORK			
ITEM	MATERIAL	LAST WORK DONE	CONDITION
Entrance Driveway Apron	Asphalt	1990	Poor
Parking Lot	Asphalt	1990	Poor
Drive Aisles	Asphalt	1990	Poor
Service Aisles	Asphalt	1990	Poor
Sidewalks	Concrete	1990	Fair
Curbs	Concrete	1990	Fair
Site Stairs	Cast-in-place concrete	1990	Fair

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PAVING AND FLATWORK			
ITEM	MATERIAL	LAST WORK DONE	CONDITION
Pedestrian Ramps	Cast-in-place concrete	2015	Good

PARKING COUNT				
OPEN LOT	CARPORT	PRIVATE GARAGE	SUBTERRANEAN GARAGE	FREESTANDING PARKING STRUCTURE
232	0	0	0	0
Total Number of ADA Compliant Spaces			7	
Number of ADA Compliant Spaces for Vans			0	
Total Parking Spaces			232	
Parking Ratio (Spaces/Apartments)			NA	
Method of Obtaining Parking Count			Physical count	

SITE STAIRS			
LOCATION	MATERIAL	HANDRAILS	CONDITION
East of building	Concrete stairs	Metal	Fair

### **Anticipated Lifecycle Replacements:**

- Asphalt seal coating
- Asphalt pavement
- Sidewalks

### **Actions/Comments:**

- The asphalt pavement exhibits significant areas of failure and deterioration, such as alligator cracking, transverse cracking, extensive raveling, heavy overall surface wear, and localized depressions throughout the site. All of the paving must be overlaid with new asphalt paving in order to maintain the integrity of the overall pavement system. Milling is recommended as part of the overall repair work.
- The concrete curbs and gutters are in fair condition. Routine maintenance is required.

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### 5.3. DRAINAGE SYSTEMS AND EROSION CONTROL

DRAINAGE SYSTEM AND EROSION CONTROL		
SYSTEM	EXISTS AT SITE	CONDITION
Surface Flow	X	Good
Inlets	X	Good
Swales	X	Good
Detention pond	<input type="checkbox"/>	--
Lagoons	<input type="checkbox"/>	--
Ponds	<input type="checkbox"/>	--
Underground Piping	X	Good
Pits	<input type="checkbox"/>	--
Municipal System	X	Good
Dry Well	<input type="checkbox"/>	--

#### Anticipated Lifecycle Replacements:

- No components of significance

#### Actions/Comments:

- There is no evidence of storm water runoff from adjacent properties. The storm water system appears to provide adequate runoff capacity. There is no evidence of major ponding or erosion.

### 5.4. TOPOGRAPHY AND LANDSCAPING

ITEM	DESCRIPTION						
Site Topography	Slopes gently down from the north side of the property to the south property line.						
Landscaping	Trees	Grass	Flower Beds	Planters	Drought Tolerant Plants	Decorative Stone	None
	X	X	X	X	X	X	<input type="checkbox"/>
Landscaping Condition	Good						
Irrigation	Automatic Underground		Drip		Hand Watering		None
	<input type="checkbox"/>		<input type="checkbox"/>		X		<input type="checkbox"/>
Irrigation Condition	Good						

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RETAINING WALLS		
TYPE	LOCATION	CONDITION
Stone masonry	North of building	Fair

### Anticipated Lifecycle Replacements:

- Masonry retaining wall

### Actions/Comments:

- The topography and adjacent uses do not appear to present conditions detrimental to the property. There are no significant areas of erosion.

## 5.5. GENERAL SITE IMPROVEMENTS

PROPERTY SIGNAGE	
Property Signage	Post mounted wood
Street Address Displayed?	No

SITE AND BUILDING LIGHTING					
Site Lighting	None	Pole Mounted	Bollard Lights	Ground Mounted	Parking Lot Pole Type
	<input type="checkbox"/>	X	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Good					
Building Lighting	None		Wall Mounted	Recessed Soffit	
	<input type="checkbox"/>		X	<input type="checkbox"/>	
Good					

SITE FENCING		
TYPE	LOCATION	CONDITION
Chain link with metal posts	South, west and north of building	Fair

REFUSE DISPOSAL	
Refuse Disposal	Common area dumpsters

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Dumpster Locations	Mounting	Enclosure	Contracted?	Condition
Southwest of building	Asphalt paving	None	Yes	Good

OTHER SITE AMENITIES			
	DESCRIPTION	LOCATION	CONDITION
Playground Equipment	None	--	--
Tennis Courts	None	--	--
Basketball Court	None	--	--
Swimming Pool	None	--	--

**Anticipated Lifecycle Replacements:**

- Chain link fence

**Actions/Comments:**

- No significant actions are identified at the present time. On-going periodic maintenance is highly recommended. Future lifecycle replacements of the component listed above will be required.

## 6. BUILDING ARCHITECTURAL AND STRUCTURAL SYSTEMS

### 6.1. FOUNDATIONS

BUILDING FOUNDATION		
ITEM	DESCRIPTION	CONDITION
Foundation	Concrete spread footings	Good
Basement and Crawl Space	None	--

**Anticipated Lifecycle Replacements:**

- No components of significance

**Actions/Comments:**

- Isolated areas of the foundation systems are exposed, which allows for limited observation. There are no significant signs of settlement, deflection, or movement.

### 6.2. SUPERSTRUCTURE

BUILDING SUPERSTRUCTURE		
ITEM	DESCRIPTION	CONDITION
Framing / Load-Bearing Walls	Masonry walls	Good
Ground Floor	Concrete slab	Good
Upper Floor Framing	Concrete beams	Good
Upper Floor Decking	Concrete, precast planks	Good
Roof Framing	Wood joists, purlins, rafters	Good
Roof Decking	Plywood or OSB	Good

**Anticipated Lifecycle Replacements:**

- No components of significance

**Actions/Comments:**

- The superstructure is exposed in some locations, which allows for limited observation. Walls and floors appear to be plumb, level, and stable. There are no significant signs of deflection or movement.

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### 6.3. ROOFING

PRIMARY ROOF			
Type / Geometry	Hip Roof	Finish	Metal roofing
Maintenance	Outside Contractor	Roof Age	14 Years
Flashing	Sheet metal	Warranties	Yes
Parapet Copings	None	Roof Drains	Gutters and downspouts
Fascia	Metal Panel	Insulation	Fiberglass batts
Soffits	None	Skylights	No
Attics	Pre-cast floor slabs	Ponding	No
Ventilation Source-1	Power Vents	Leaks Observed	No
Ventilation Source-2	--	Roof Condition	Good

The primary roof is located at main building.

SECONDARY ROOF			
Type / Geometry	Flat	Finish	Rubber membrane with stone ballast
Maintenance	Outside Contractor	Roof Age	1 Year
Flashing	Sheet metal	Warranties	Yes
Parapet Copings	None	Roof Drains	Internal drains
Fascia	Metal Panel	Insulation	Rigid Board
Soffits	None	Skylights	No
Attics	Pre-cast floor slabs	Ponding	No
Ventilation Source-1	Power Vents	Leaks Observed	No
Ventilation Source-2	--	Roof Condition	Good

The secondary roof is located at laundry building.

TERTIARY ROOF			
Type / Geometry	Flat	Finish	Rubber membrane with stone ballast
Maintenance	Outside Contractor	Roof Age	14 Years

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TERTIARY ROOF			
Flashing	Sheet metal	Warranties	Yes
Parapet Copings	None	Roof Drains	Internal drains
Fascia	Metal Panel	Insulation	Rigid Board
Soffits	None	Skylights	No
Attics	Pre-cast floor slabs	Ponding	No
Ventilation Source-1	Power Vents	Leaks Observed	No
Ventilation Source-2	--	Roof Condition	Fair

The tertiary roof is located at main building additions at south of building.

### **Anticipated Lifecycle Replacements:**

- EPDM membrane roof
- TPO membrane roof

### **Actions/Comments:**

- The roof finishes were reportedly installed in 2002. Information regarding roof warranties or bonds was not available. The roofs are maintained by an outside contractor.
- According to the POC, there are no active roof leaks. There is no evidence of active roof leaks.
- There is no evidence of roof deck deterioration. The roof substrate should be inspected during any future roof repair or replacement work.
- Roof drainage appears to be adequate. Clearing and minor repair of drain system components should be performed regularly as part of the property management's routine maintenance and operations program.
- There is no evidence of moisture, water intrusion, or excessive daylight in the attics. It appeared attic was missing insulation. R-38 batt insulation is to be added over rafter ties.

## 6.4. EXTERIOR WALLS

BUILDING EXTERIOR WALLS		
TYPE	LOCATION	CONDITION
Primary Finish	Brick veneer	Fair
Secondary Finish	N/A	--
Accented with	N/A	--
Soffits	Concealed	Fair

Building sealants (caulking) are located between dissimilar materials, at joints, and around window and door openings.

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### Anticipated Lifecycle Replacements:

- No components of significance

### Actions/Comments:

- No significant actions are identified at the present time. On-going periodic maintenance, including patching repairs, graffiti removal, and re-caulking, is highly recommended. Future lifecycle replacements of the components listed above will be required.
- Isolated portions of the mortar joints along the brick veneer are cracked. The damaged mortar joints must be cleaned and re-pointed.

## 6.5. EXTERIOR AND INTERIOR STAIRS

BUILDING EXTERIOR AND INTERIOR STAIRS					
TYPE	DESCRIPTION	RISER	HANDRAIL	BALUSTERS	CONDITION
Building Exterior Stairs	Steel-framed with textured metal treads	Open	Metal	Metal	Fair
Building Interior Stairs	Steel framed with pan-filled concrete	Closed	Metal	Metal	Fair

### Anticipated Lifecycle Replacements:

- No components of significance

### Actions/Comments:

- On-going periodic maintenance is highly recommended.
- Site concrete stairs leading to underground tunnel have broken steps, and require immediate repair.

## 6.6. EXTERIOR WINDOWS AND DOORS

BUILDING WINDOWS				
WINDOW FRAMING	GLAZING	LOCATION	WINDOW SCREEN	CONDITION
Wood framed, operable	Double glaze	Main Building	X	Fair
Aluminum framed, fixed	Double glaze	Laundry Building	□	Fair
Aluminum framed storefront	Double glaze	Laundry Building	□	Fair

BUILDING DOORS		
	Door Type	Condition
Main Entrance Doors	Fully glazed, metal framed	Fair
Secondary Entrance Doors	None	--
Service Doors	Metal, insulated	Fair

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BUILDING DOORS		
Overhead Doors	None	--

### **Anticipated Lifecycle Replacements:**

- Wood windows
- Aluminum windows
- Storefront windows
- Storefront exterior doors
- Steel exterior doors

### **Actions/Comments:**

- No significant actions are identified at the present time. On-going periodic maintenance is highly recommended. Future lifecycle replacements of the components listed above will be required.

## 6.7. PATIO, TERRACE, AND BALCONY

Not applicable. There are no patios, terraces, or balconies.

## 7. BUILDING MECHANICAL AND PLUMBING SYSTEMS

### 7.1. BUILDING HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

INDIVIDUAL UNITS	
Primary Components	Suspended unit heaters
Cooling (if separate from above)	None; no cooling
Quantity and Capacity Ranges	Nineteen units ranging from 13 MBTUH to 75 MBTUH
Total Heating or Cooling Capacity	836 MBTUH
Heating Fuel	Natural gas
Location of Equipment	Throughout interior spaces
Space Served by System	Laundry building
Age Ranges	1989 to 1998
Primary Component Condition	Fair (13), Poor (6)

INDIVIDUAL UNITS	
Primary Components	Furnaces
Cooling (if separate from above)	None; no cooling
Quantity and Capacity Ranges	Two units ranging from 300 MBTUH to 700 MBTUH
Total Heating Capacity	1,000 MBTUH
Heating Fuel	Natural gas
Location of Equipment	Suspended from ceiling of laundry building
Space Served by System	Laundry building
Age Ranges	Both units installed around 1998
Primary Component Condition	Fair

BUILDING CENTRAL HEATING SYSTEM	
Primary Heating System Type	Steam from campus plant; on-site heat exchangers
Quantity and Capacity of Major Components	One steam-to-water heat exchanger
Total Heating Capacity	Estimated at 130 gallons per minute
Heating Fuel	NA; off-site

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BUILDING CENTRAL HEATING SYSTEM	
Location of Major Equipment	Mechanical rooms
Space Served by System	All spaces
Age Ranges	1990
Boiler Condition	--
Heat Exchanger Condition	Fair

BUILDING CENTRAL COOLING SYSTEM	
Primary Cooling System Type	Chilled water from campus plant
Quantity and Capacity of Major Components	Seven interior air handlers
Total Cooling Capacity	90 tons
Refrigerant	Unknown
Cooling Towers	None
Location of Major Equipment	Mechanical rooms
Space Served by System	All areas
Age Ranges	All units dated 1986 to 1992
Chiller Condition	--
Cooling Tower Condition	--

DISTRIBUTION SYSTEM	
HVAC Water Distribution System	Four-pipe
Heating Water Circulation Pump Size & Quantity	Two pumps at ten HP each
Chilled Water Circulation Pump Size & Quantity	Unknown
Condenser Water Circulation Pump Size & Quantity	One at 3 HP
Pump Condition	Fair
Air Distribution System	Variable volume
Quantity and Capacity of Air Handlers	Seven air handlers ranging from 3,240 to 8,200 CFM
Location of Air Handlers	Mechanical rooms
Large Spaces the Larger Dedicated AHU's Serve	NA
Age of Air Handlers	All units dated 1989 to 1992

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DISTRIBUTION SYSTEM	
Air Handler Condition	Fair
Terminal Units	VAV boxes
Quantity and Capacity of Terminal Units	approximately 59 VAV boxes ranging from 401 to 800 CFM each
Location of Terminal Units	Along ceilings
Spaces Served by Terminal Units	Throughout facility
Terminal Unit Condition	Fair

SUPPLEMENTAL COMPONENTS	
Supplemental Component #1	Ductless mini-split systems
Location / Space Served by Ductless mini-split system	Laundry building office
Ductless mini-split system Condition	Poor
Supplemental Component #2	Ductless mini-split systems
Location / Space Served by Ductless mini-split system	Laundry building break room
Ductless mini-split system Condition	Good

CONTROLS AND VENTILATION	
HVAC Control System	BAS, direct digital controls (DDC)
HVAC Control System Condition	Poor
Building Ventilation	Central AHU, with fresh air intake
Ventilation System Condition	Fair

### **Anticipated Lifecycle Replacements:**

- Building automation system
- Air handling units
- Circulation pumps
- Rooftop power exhaust fans
- VAV units
- Furnaces
- Heat exchanger
- Unit heaters
- Baseboard hydronic radiator
- Ductless split systems

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### Actions/Comments:

- The HVAC systems are maintained by the in-house maintenance staff. Records of the installation, maintenance, upgrades, and replacement of the HVAC equipment at the property have been maintained since the property was first occupied.
- The HVAC equipment have been installed and replaced on an "as needed" basis.
- The HVAC equipment appears to be functioning adequately overall. The maintenance staff were interviewed about the historical and recent performance of the equipment and systems. No chronic problems were reported and an overall sense of satisfaction with the systems was conveyed. However, due to the inevitable failure of parts and components over time, some of the equipment will require lifecycle replacement.

## 7.2. BUILDING PLUMBING AND DOMESTIC HOT WATER

BUILDING PLUMBING SYSTEM		
TYPE	DESCRIPTION	CONDITION
Water Supply Piping	Copper	Good
Waste/Sewer Piping	PVC	Good
Vent Piping	PVC	Good
Water Meter Location	Mechanical room	

DOMESTIC WATER HEATERS OR BOILERS	
Components	Water Heater
Fuel	Electric
Quantity and Input Capacity	Three units
Storage Capacity	30 to 50 gallons
Water Heater Condition	Fair (2), Good (1)
Supplementary Storage Tanks?	No
Storage Tank Quantity & Volume	NA
Quantity of Storage Tanks	NA
Storage Tank Condition	--
Domestic Hot Water Circulation Pumps (3 HP and over)	No
Adequacy of Hot Water	Adequate
Adequacy of Water Pressure	Adequate

DOMESTIC WATER HEATERS OR BOILERS	
Components	Boiler
Fuel	Natural gas
Quantity and Input Capacity	One unit at 2,200 MBTU
Storage Capacity	400 gallons
Water Heater Condition	Good

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DOMESTIC WATER HEATERS OR BOILERS	
Supplementary Storage Tanks?	No
Storage Tank Quantity & Volume	NA
Quantity of Storage Tanks	NA
Storage Tank Condition	--
Domestic Hot Water Circulation Pumps (3 HP and over)	None
Adequacy of Hot Water	Adequate
Adequacy of Water Pressure	Adequate

PLUMBING FIXTURES	
Water Closets	Commercial
Toilet (Water Closet) Flush Rating	1.6 GPF
Common Area Faucet Nominal Flow Rate	1.6 GPM
Condition	Fair

### **Anticipated Lifecycle Replacements:**

- Domestic water heater
- Toilets
- Sinks
- Backflow preventer
- Boiler
- Emergency eye wash and shower station

### **Actions/Comments:**

- The plumbing systems appear to be well maintained and functioning adequately. The water pressure appears to be sufficient. No significant repair actions or short-term replacement costs are required. Routine and periodic maintenance is recommended. Future lifecycle replacements of the components or systems listed above will be required.

## 7.3. BUILDING GAS DISTRIBUTION

Gas service is supplied from the gas main on the adjacent public street. The gas meters and regulators are located along the exterior walls of the building. The gas distribution piping within the building is malleable steel (black iron).

### **Anticipated Lifecycle Replacements:**

- No components of significance

### **Actions/Comments:**

- The pressure and quantity of gas appear to be adequate.
- The gas meters and regulators appear to be functioning adequately and will require routine maintenance.
- Only limited observation of the gas distribution piping can be made due to hidden conditions.

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### 7.4. BUILDING ELECTRICAL

BUILDING ELECTRICAL SYSTEMS			
Electrical Lines	Underground	Transformer	Pad-mounted
Main Service Size	800 Amps	Volts	120/208 Volt, three-phase
Meter & Panel Location	Mechanical room #1105	Branch Wiring	Copper
Conduit	Metallic	Step-Down Transformers?	Yes
Security / Surveillance System?	No	Building Intercom System?	No
Lighting Fixtures	T-8		
Main Distribution Condition	Fair		
Secondary Panel and Transformer Condition	Fair		
Lighting Condition	Good		

#### **Anticipated Lifecycle Replacements:**

- Secondary transformers
- Main switchgear

#### **Actions/Comments:**

- The onsite electrical systems up to the meters are owned and maintained by the respective utility company.
- The electrical service and capacity appear to be adequate for the property's demands.
- The main switchgear and secondary transformers are mostly 1986 components. The electrical service is reportedly adequate for the facility's needs. However, due to the age of the main switchgear and transformers and increasing difficulty of obtaining replacement parts over time, lifecycle replacements are recommended.

### 7.5. BUILDING ELEVATORS AND CONVEYING SYSTEMS

	ELEVATOR-1	ELEVATOR-2
Building Name	Main Building	Main Building
Elevator Category	Passenger	Passenger
Elevator Type	Pull Cables	Hydraulic
Elevator Capacity	2500 Lbs	4000 Lbs
Elevator Manufacturer	Otis	Dover

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	ELEVATOR-1	ELEVATOR-2
Equipment Location	Penthouse or top of shaft	Ground floor or basement adjacent to shaft
Elevator Safety Stop	Mechanical	Electronic
Elevator Emergency Communication	Yes	Yes
Elevator Cab Floor	Vinyl-tiled	Vinyl-tiled
Elevator Cab Wall	Plastic-laminated wood	Plastic-laminated wood
Elevator Cabin Lighting	F42T8	F42T8
Machinery Condition	Poor	Poor
Controls Condition	Poor	Poor
Cab Finish Condition	Poor	Poor
Other Conveyance	--	--
Condition	--	--

### Anticipated Lifecycle Replacements:

- Elevator control modernization
- Elevator renovation

### Actions/Comments:

- The elevators appear to provide adequate service. The elevators are serviced by an outside contractor on a routine basis. The elevator machinery and controls are originally installed in 1970 and 1975. The elevators will require continued periodic maintenance. Full modernization is recommended as a near term lifecycle replacement.
- The elevators are inspected on an annual basis by the municipality.
- The emergency communication equipment in the elevator cabs appears not to be functional. Equipment testing is not within the scope of the work.
- The finishes in the elevator cabs will require replacement. The cost to replace the finishes is relatively insignificant and the work can be performed as part of the property management's operations program.

## 7.6. FIRE PROTECTION AND SECURITY SYSTEMS

ITEM	DESCRIPTION					
Type	Dry pipe (in attic only)					
Fire Alarm System	Central Alarm Panel	X	Battery-Operated Smoke Detectors	X	Alarm Horns	X
	Annunciator Panels	X	Hard-Wired Smoke Detectors	X	Strobe Light Alarms	X

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ITEM	DESCRIPTION					
Type	Dry pipe (in attic only)					
	Pull Stations	X	Emergency Battery-Pack Lighting	X	Illuminated EXIT Signs	X
Alarm System Condition	Fair					
Sprinkler System	None	<input type="checkbox"/>	Standpipes	<input type="checkbox"/>	Backflow Preventer	<input type="checkbox"/>
	Hose Cabinets	<input type="checkbox"/>	Fire Pumps	<input type="checkbox"/>	Siamese Connections	<input type="checkbox"/>
Suppression Condition	Fair					
Central Alarm Panel System	Location of Alarm Panel			Installation Date of Alarm Panel		
	Mechanical Room #1105			2008		
Fire Extinguishers	Last Service Date			Servicing Current?		
	11-7-2016			Yes		
Hydrant Location	Along main street nearby					
Siamese Location	NA					
Special Systems	Kitchen Suppression System		<input type="checkbox"/>	Computer Room Suppression System		<input type="checkbox"/>

### Anticipated Lifecycle Replacements:

- Central alarm panel
- Exit lights
- Fire extinguishers

### Actions/Comments:

- No significant actions are identified at the present time. On-going periodic maintenance is highly recommended. Future lifecycle replacements of the components listed above will be required.

## 7.7. LIFE SUPPORT SYSTEMS

Not applicable.

## 8. INTERIOR SPACES

### 8.1. INTERIOR FINISHES

The facility is used mainly as an office building for the medical professionals of the North Central Healthcare facility.

The most significant interior spaces include offices and main entrance lobbies. Supporting areas include laundry building, hallways, restrooms, employee break rooms, mechanical rooms, utility closets and back-of-house areas.

The following table generally describes the locations and typical conditions of the interior finishes within the facility:

TYPICAL FLOOR FINISHES		
FLOOR FINISH	LOCATIONS	GENERAL CONDITION
Terrazzo	Entrance Lobbies and hallways	Fair
VCT	Hallways	Fair
Ceramic tile	Restrooms	Fair
Carpet	Offices, hallways, breakrooms	Fair
Concrete	Storage rooms, mechanical rooms, laundry rooms	Fair
TYPICAL WALL FINISHES		
WALL FINISH	LOCATIONS	GENERAL CONDITION
Painted drywall	Lobby, offices, restrooms, hallways	Fair
Painted CMU walls	Hallways, restrooms	Fair
Vinyl wall coverings	Lobby, offices, hallways	Fair
TYPICAL CEILING FINISHES		
CEILING FINISH	LOCATIONS	GENERAL CONDITION
Suspended T-bar (Acoustic)	Lobby, offices, restrooms, hallways	Fair
Exposed structure	Mechanical rooms, laundry rooms	Good

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INTERIOR DOORS		
ITEM	TYPE	CONDITION
Interior Doors	Solid core wood	Fair
Interior Doors	Solid core steel	Fair
Door Framing	Metal	Good
Fire Doors	Yes	Good

### **Anticipated Lifecycle Replacements:**

- Carpet
- Ceramic tile
- VCT flooring
- Terrazzo
- Interior paint
- Suspended acoustic ceiling tile
- Interior doors

### **Actions/Comments:**

- The interior areas were last renovated in 1990.
- Portions of ground floor plaster walls are damaged with peeling paint, and require immediate repair.
- On-going periodic maintenance is highly recommended. Future lifecycle replacements of the components listed above will be required.

## 8.2. COMMERCIAL KITCHEN & LAUNDRY EQUIPMENT

There is no commercial kitchen in this building except an ice machine in the laundry building.

COMMERCIAL LAUNDRY		
EQUIPMENT	COMMENT	CONDITION
Commercial Washing Machines	Four machines rated from 120 lbs to 700 lbs	Good (3), Poor (1)
Commercial Dryers	Seven gas dryers rated at 150 LB each	Fair
Residential Washers	<input type="checkbox"/>	--
Residential Dryers	<input type="checkbox"/>	--

### **Anticipated Lifecycle Replacements:**

- Ice maker
- Commercial washers
- Commercial dryers

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- Air compressor

### ***Actions/Comments:***

- No significant actions are identified at the present time. On-going periodic maintenance is highly recommended. Future lifecycle replacements of the components listed above will be required.



## 9. OTHER STRUCTURES

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Not applicable. There are no major accessory structures.

## 10. CERTIFICATION

Facility Dude retained EMG to perform this Facility Condition Assessment in connection with Marathon County's continued operation of Lake View Professional Plaza, 1200 Lake View Drive, Wausau, WI, the "Property". It is our understanding that the primary interest of Marathon County is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in depth studies were performed unless specifically required under Section 2 of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas were observed (See Section 4.2 for areas observed). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of Marathon County for the purpose stated within Section 2 of this report. The report, or any excerpt thereof, shall not be used by any party other than Marathon County or for any other purpose than that specifically stated in our agreement or within Section 2 of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at Marathon County's and the recipient's sole risk, without liability to EMG.

**Prepared by:** Henry Guo,  
Project Manager

**Reviewed by:**



Michelle M. Kania  
Technical Report Reviewer for  
Bill Champion,  
Program Manager  
[bchampion@emgcorp.com](mailto:bchampion@emgcorp.com)  
800.733.0660 x6234

## 11. APPENDICES

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APPENDIX A: PHOTOGRAPHIC RECORD

APPENDIX B: SITE PLAN

APPENDIX C: EMG ACCESSIBILITY CHECKLIST

APPENDIX D: PRE-SURVEY QUESTIONNAIRE

FACILITY CONDITION ASSESSMENT

MARATHON/LAKE VIEW PROFESSIONAL PLAZA  
1200 LAKE VIEW DRIVE  
WAUSAU, WISCONSIN 54403

EMG PROJECT NO: 125533.17R000-013.322

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**APPENDIX A:**  
**PHOTOGRAPHIC RECORD**

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#1:	FRONT ELEVATION
-----	-----------------



#2:	RIGHT ELEVATION
-----	-----------------



#3:	REAR ELEVATION
-----	----------------



#4:	LEFT ELEVATION
-----	----------------



#5:	LAUNDRY BUILDING FRONT ELEVATION
-----	----------------------------------



#6:	LAUNDRY BUILDING LEFT ELEVATION
-----	---------------------------------



#7:	PARKING LOT
-----	-------------



#8:	CONCRETE SIDEWALK
-----	-------------------



#9:	RETAINING WALL
-----	----------------



#10:	CHAIN LINK FENCE
------	------------------



#11:	ROOF
------	------



#12:	DOCK RAMP LEVELER
------	-------------------





#13:	WINDOW
------	--------



#14:	EXTERIOR DOOR
------	---------------



#15:	WOOD WINDOW
------	-------------



#16:	STOREFRONT WINDOW
------	-------------------



#17:	STEEL EXTERIOR DOOR
------	---------------------



#18:	CABINET HEATER
------	----------------



#19:	EXHAUST FAN
------	-------------



#20:	CEILING MOUNTED CABINET HEATER
------	--------------------------------



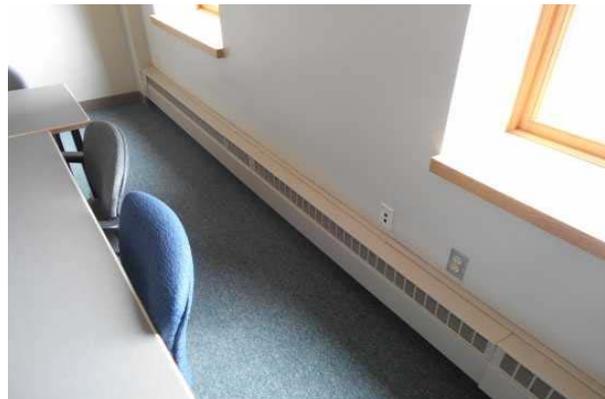
#21:	INTERIOR AIR HANDLER
------	----------------------



#22:	NATURAL GAS UNIT HEATER
------	-------------------------



#23:	EXHAUST FAN
------	-------------



#24:	HYDRONIC BASEBOARD RADIATOR
------	-----------------------------



#25:	GAS FURNACE
------	-------------



#26:	TEMPERATURE CONTROL
------	---------------------



#27:	ATTIC INSULATION
------	------------------



#28:	DUCTLESS SPLIT SYSTEM AIR CONDITIONER
------	---------------------------------------



#29:	CONDENSATE WATER RETURN PUMP
------	------------------------------



#30:	BOOSTER PUMP
------	--------------



#31: WATER HEATER



#32: BACKFLOW PREVENTER



#33: SINK



#34: TOILET



#35: EMERGENCY EYE WASH AND SHOWER STATION



#36: GAS DOMESTIC BOILER



#37: SECONDARY TRANSFORMER



#38: MAIN SWITCHGEAR



#39: AUTOMATIC ELEVATOR CONTROLS



#40: ELEVATOR PULLING MACHINE



#41: ELEVATOR



#42: FIRE EXTINGUISHER



#43:	ADDRESSABLE FIRE ALARM CONTROL PANEL
------	--------------------------------------



#44:	EXIT LIGHTING FIXTURE
------	-----------------------



#45:	INTERIOR WALL FINISH
------	----------------------



#46:	CERAMIC TILE FLOOR
------	--------------------



#47:	TERRAZZO FLOOR
------	----------------



#48:	GYPSUM BOARD WALLS AND CARPET FLOOR
------	-------------------------------------



#49:	STEEL INTERIOR DOOR
------	---------------------



#50:	INTERIOR DOOR
------	---------------



#51:	VINYL TILE (VCT) FLOOR
------	------------------------



#52:	INTERIOR WALL FINISH
------	----------------------



#53:	COMMERCIAL DRYER
------	------------------



#54:	COMMERCIAL WASHER
------	-------------------



#55:	AIR COMPRESSOR
------	----------------



#56:	COMMERCIAL WASHER
------	-------------------



#57:	ICEMAKER
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FACILITY CONDITION ASSESSMENT

MARATHON/LAKE VIEW PROFESSIONAL PLAZA

1200 LAKE VIEW DRIVE

WAUSAU, WISCONSIN 54403

EMG PROJECT NO: 125533.17R000-013.322

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**APPENDIX B:**  
**SITE PLAN**

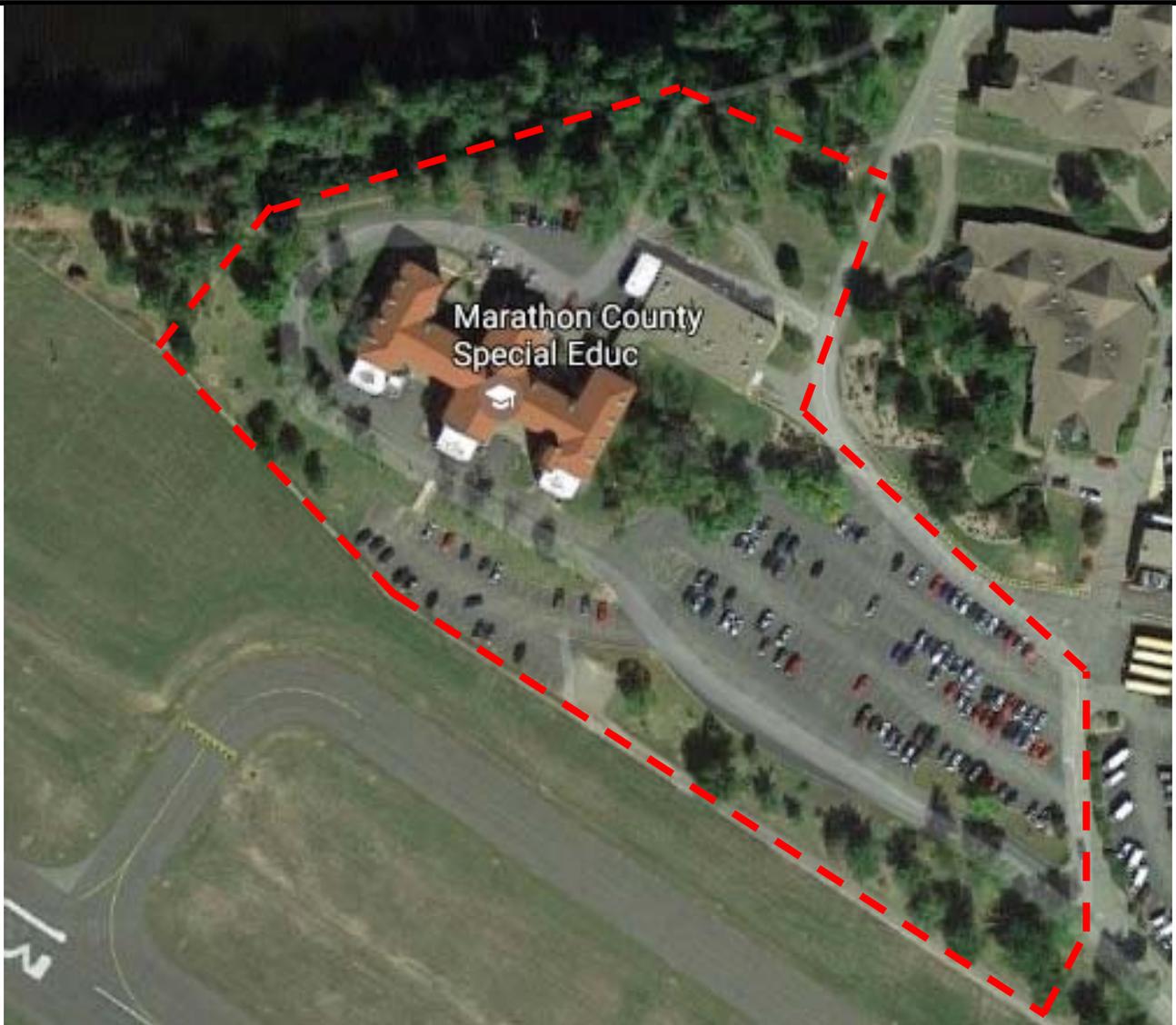
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**DUDE SOLUTIONS**  
PARENT COMPANY OF SchoolDude | FacilityDude | TheWorxHub

Site Plan



**Project Name:**

Marathon/Lake View Professional Plaza

**Project Number:**

125533.17R000-013.322

**Source:**

Google Map

**On-Site Date:**

May 15, 2017

FACILITY CONDITION ASSESSMENT

MARATHON/LAKE VIEW PROFESSIONAL PLAZA  
1200 LAKE VIEW DRIVE  
WAUSAU, WISCONSIN 54403

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**APPENDIX C:**  
**EMG ACCESSIBILITY CHECKLIST**

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**DUDE SOLUTIONS**  
PARENT COMPANY OF SchoolDude | FacilityDude | TheWorxHub

Date Completed:

May 17, 2017

Property Name:

Marathon/Lake View Professional Plaza

EMG Project Number:

125533.17R000-013.322

Building History		Yes	No	Unk	Comments
1	Has an ADA survey previously been completed for this property?	✓			
2	Have any ADA improvements been made to the property?	✓			
3	Does a Transition Plan / Barrier Removal Plan exist for the property?		✓		
4	Has building ownership or management received any ADA related complaints that have not been resolved?		✓		
5	Is any litigation pending related to ADA issues?		✓		
Parking		Yes	No	NA	Comments
1	Are there sufficient accessible parking spaces with respect to the total number of reported spaces?	✓			
2	Are there sufficient van-accessible parking spaces available?	✓			
3	Are accessible spaces marked with the International Symbol of Accessibility? Are there signs reading "Van Accessible" at van spaces?	✓			
4	Is there at least one accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?	✓			
5	Do curbs on the accessible route have depressed, ramped curb cuts at drives, paths, and drop-offs?	✓			
6	If required does signage exist directing you to accessible parking and an accessible building entrance?			✓	
Ramps		Yes	No	NA	Comments
1*	Do all ramps along accessible path of travel appear to meet slope requirements? ( 1:12 or less)	✓			
2	Are ramps that appear longer than 6 ft complete with railings on both sides?	✓			

<b>Ramps (cont.)</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
3	Does the width between railings appear at least 36 inches?	✓			
4	Is there a level landing for approximately every 30 ft horizontal length of ramp, at the top and at the bottom of ramps and switchbacks?	✓			
<b>Entrances/Exits</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Do all required accessible entrance doorways appear at least 32 inches wide and not a revolving door?	✓			
2	If the main entrance is inaccessible, are there alternate accessible entrances?			✓	
3	Is the door hardware easy to operate (lever/push type hardware, no twisting required and not higher than approximately 48 inches above the floor)?	✓			
<b>Paths of Travel</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Are all paths of travel free of obstruction and wide enough for a wheelchair (appear at least 36 inches wide)?	✓			
2	Are wheelchair-accessible facilities (toilet rooms, exits, etc.) identified with signage?	✓			
3	Is there a path of travel that does not require the use of stairs?	✓			
<b>Elevators</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Do the call buttons have visual and audible signals to indicate when a call is registered and answered when car arrives?	✓			
2	Are there visual and audible signals inside cars indicating floor change?	✓			
3	Are there standard raised and Braille marking on both jambs of each hoist way entrance as well as all cab/call buttons?	✓			
4	Do elevator doors have a reopening device that will stop and reopen a car door if an object or a person obstructs the door?	✓			
5	Are elevator controls low enough to be reached from a wheelchair (appears to be between 15 and 48 inches)?	✓			
6	If a two-way emergency communication system is provided within the elevator cab, is it usable without voice communication?	✓			

Toilet Rooms		Yes	No	NA	Comments
1	Are common area public restrooms located on an accessible route?	✓			
2	Are pull handles push/pull or lever type?	✓			
3	Are there audible and visual fire alarm devices in the toilet rooms?	✓			
4	Are toilet room access doors wheelchair-accessible (appear to be at least 32 inches wide)?	✓			
5	Are public restrooms large enough to accommodate a wheelchair turnaround (appear to have 60" turning diameter)?	✓			
6	In unisex toilet rooms, are there safety alarms with pull cords?	✓			
7	Are toilet stall doors wheelchair accessible (appear to be at least 32" wide)?	✓			
8	Are grab bars provided in toilet stalls?	✓			
9	Are sinks provided with clearance for a wheelchair to roll under (appear to have 29" clearance)?	✓			
10	Are sink handles operable with one hand without grasping, pinching or twisting?	✓			
11	Are exposed pipes under sink sufficiently insulated against contact?		✓		
Guest Rooms		Yes	No	NA	Comments
1	How many total accessible sleeping rooms does the property management report to have? <b>Provide specific number in comment field.</b> Are there sufficient reported accessible sleeping rooms with respect to the total number of reported guestrooms? See attached hot sheet.			✓	

<b>Guest Rooms</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
2	How many of the accessible sleeping rooms per property management have roll-in showers? <b>Provide specific number in comment field.</b> Are there sufficient reported accessible rooms with roll-in showers with respect to the total number of reported accessible guestrooms? See attached hot sheet.			✓	
3	How many assistive listening kits and/or rooms with communication features are available per property management? <b>Provide specific number in comment field.</b> Are there sufficient reported assistive listening devices with respect to the total number of rooms? See attached hot sheet.			✓	
<b>Pools</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Are public access pools provided? If the answer is no, please disregard this section.			✓	
2	How many accessible access points are provided to each pool/spa? <b>Provide number in comment field.</b> Is at least one fixed lift or sloped entry to the pool provided?			✓	
<b>Play Area</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Has the play area been reviewed for accessibility? All public playgrounds are subject to ADAAG standards.			✓	
<b>Exercise Equipment</b>		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Comments</b>
1	Does there appear to be adequate clear floor space around the machines/equipment (30" by 48" minimum)?			✓	

*\*Based on visual observation only. The slope was not confirmed through measurements.*

FACILITY CONDITION ASSESSMENT

MARATHON/LAKE VIEW PROFESSIONAL PLAZA  
1200 LAKE VIEW DRIVE  
WAUSAU, WISCONSIN 54403

EMG PROJECT NO: 125533.17R000-013.322

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**APPENDIX D:**  
**PRE-SURVEY QUESTIONNAIRE**

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**DUDE SOLUTIONS**  
PARENT COMPANY OF SchoolDude | FacilityDude | TheWorxHub



# FCA (EMG-Dude Solutions) Pre-Survey Questionnaire

This questionnaire must be completed by the property owner, the owner's designated representative, or someone knowledgeable about the subject property. If the form is not completed, EMG's Project Manager will require **additional time** during the on-site visit with such a knowledgeable person in order to complete the questionnaire. During the site visit, EMG's Field Observer may ask for details associated with selected questions. This questionnaire will be utilized as an exhibit in EMG's final report.

Name of Institution:	Marathon County		
Name of Building: Facilities and Capital Management	Building #: LVPP		
Name of person completing questionnaire: Bob Gierman – Terry Kaiser	Steve Belanger		
Length of Association With the Property: 30 years	Phone Number: 715-261-6980		

21 YRS.

715-581-1369 cell

Site Information	
Year of Construction?	1932 1986 - 1990 Remodeling
No. of Stories?	Three
Total Site Area?	27 Acres - NCHC Total
Total Building Area?	46,320 Sq Ft

OTIS older 1970  
Dover, 1980

Inspections	Date of Last Inspection	List of Any Outstanding Repairs Required
1. Elevators	1 <sup>st</sup> Quarter 2017	Quarterly Inspection done on all elevators
2. HVAC Mechanical, Electric, Plumbing?	November 2016	PLBG backflow preventors, all done
3. Life-Safety/Fire?	Monthly Tests	MC Tests all buildings Monthly
4. Roofs?	2002	Stone Coated Steel Roof, Metal roof Warranty

Key Questions	Response
Major Capital Improvements in Last 3 yrs.	N/A roof 2015 Laundry room equipment 2015 ← 3 wash machine dryers 10 yrs old
Planned Capital Expenditure For Next Year?	N/A
Age of the Roof?	2002
What bldg. Systems Are Responsibilities of Tenants? (HVAC/Roof/Interior/Exterior/Paving)	MARATHON COUNTY FACILITIES IS RESPONSIBLE FOR ALL SYSTEMS ON SITE.

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION	Y	N	Unk	NA	COMMENTS
<b>ZONING, BUILDING DESIGN &amp; LIFE SAFETY ISSUES</b>					
1		x			
2		x			
3			x		Asbestos in basement tunnel has been blocked over.
4		x			



# FCA (EMG-Dude Solutions) Pre-Survey Questionnaire

5	Has any part of the property ever contained visible suspect mold growth?		x			
<b>QUESTION</b>		<b>Y</b>	<b>N</b>	<b>Unk</b>	<b>NA</b>	<b>COMMENTS</b>
6	Is there a mold Operations and Maintenance Plan?		x			
7	Are there any recalled fire sprinkler heads (Star, GEM, Central, and Omega)?		x			Attic is sprinklered, dry system
8	Have there been indoor air quality or mold related complaints from tenants?		x			
<b>GENERAL SITE</b>						
9	Are there any problems with erosion, storm water drainage or areas of paving that do not drain?		x			
10	Are there any problems with the landscape irrigation systems?		x			
<b>BUILDING STRUCTURE</b>						
11	Are there any problems with foundations or structures?		x			
12	Is there any water infiltration in basements or crawl spaces?	x				West end of tunnel connecting facilities.
13	Has a termite/wood boring insect inspection been performed within the last year?		x			
<b>BUILDING ENVELOPE</b>						
14	Are there any wall, or window leaks?		x			1986 Windows & Doors
15	Are there any roof leaks?		x			
16	Is the roofing covered by a warranty or bond?			x		2002 Installation
17	Are there any poorly insulated areas?	x				Age of building – attic.
18	Is Fire Retardant Treated (FRT) plywood used?		x			
19	Is exterior insulation and finish system (EIFS) or a synthetic stucco finish used?		x			



# FCA (EMG-Dude Solutions) Pre-Survey Questionnaire

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION	Y	N	Unk	NA	COMMENTS
<b>BUILDING HVAC AND ELECTRICAL</b>					
20		x			
21			x		Feed to the building is unknown.
22				x	
23		x			
24		x			Swift gear is old, older than B6
<b>ADA</b>					
25	x				
26	x				Compliant per last remodel in the 1990's
27		x			
28		x			
29		x			
30			x		Elevators installed in 1950's & 1970's
<b>PLUMBING</b>					
31		x			
32		x			
33		x			
34		x			



# FCA (EMG-Dude Solutions) Pre-Survey Questionnaire

## Additional Issues or Concerns That EMG Should Know About?

1. Sewer line clogged, needs to be fixed by city or client
2. Plasters in stair well come out
3. Otis is very old cable driven. Dower is hydraulic.
4. Laundry room windows single pane. Laundry Plug added in 83.

## Items Provided to EMG Auditors

	Yes	No	N/A	Additional Comments?
Access to All Mechanical Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Access to Roof/Attic Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Access to Building As-Built Drawings		<input type="checkbox"/>	<input checked="" type="checkbox"/>	As built not available
Site plan with bldg., roads, parking and other features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Contact Details for Mech, Elevator, Roof, Fire Contractors:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
List of Commercial Tenants in the property	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Special Education / Community Link
Previous reports pertaining to the physical condition of property.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
ADA survey and status of improvements implemented.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Current / pending litigation related to property condition.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Any brochures or marketing information.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Steve Blay  
Signature of person interviewed or completing form

5-15-2017  
Date

5. Mechanical control are 30/ps
- 6.

# FACILITY CONDITION ASSESSMENT

MARATHON/LAKE VIEW PROFESSIONAL PLAZA  
1200 LAKE VIEW DRIVE  
WAUSAU, WISCONSIN 54403

EMG PROJECT NO: 125533.17R000-013.322

On the day of the site visit, provide EMG's Field Observer access to all of the available documents listed below. Provide copies if possible.

## INFORMATION REQUIRED

1. All available construction documents (blueprints) for the original construction of the building or for any tenant improvement work or other recent construction work.
2. A site plan, preferably 8 1/2" X 11", which depicts the arrangement of buildings, roads, parking stalls, and other site features.
3. For commercial properties, provide a tenant list which identifies the names of each tenant, vacant tenant units, the floor area of each tenant space, and the gross and net leasable area of the building(s).
4. For apartment properties, provide a summary of the apartment unit types and apartment unit type quantities, including the floor area of each apartment unit as measured in square feet.
5. For hotel or nursing home properties, provide a summary of the room types and room type quantities.
6. Copies of Certificates of Occupancy, building permits, fire or health department inspection reports, elevator inspection certificates, roof or HVAC warranties, or any other similar, relevant documents.
7. The names of the local utility companies which serve the property, including the water, sewer, electric, gas, and phone companies.
8. The company name, phone number, and contact person of all outside vendors who serve the property, such as mechanical contractors, roof contractors, fire sprinkler or fire extinguisher testing contractors, and elevator contractors.
9. A summary of recent (over the last 5 years) capital improvement work which describes the scope of the work and the estimated cost of the improvements. Executed contracts or proposals for improvements. Historical costs for repairs, improvements, and replacements.
10. Records of system & material ages (roof, MEP, paving, finishes, furnishings).
11. Any brochures or marketing information.
12. Appraisal, either current or previously prepared.
13. Current occupancy percentage and typical turnover rate records (for commercial and apartment properties).
14. Previous reports pertaining to the physical condition of property.
15. ADA survey and status of improvements implemented.
16. Current / pending litigation related to property condition.

Your timely compliance with this request is greatly appreciated.